

**Cravens Home Inspection Service**  
**PO Box 925**  
**Bixby, Oklahoma 74008**  
**(918)369-6947**

**Standard Home Inspection**

Doc #: 121031112 Inspector: Charles Cravens

Date: 10/31/2012

Dwelling Address: Any Street  
Tulsa Oklahoma

Client Name: Mr. Home Buyer

Client's Agent: Real Estate Company:

Sellers Agent: Real Estate Company:



**1000. The Report**

We encourage you to read the whole report and not just the summary report, and to consult with us directly should you have any questions. Please keep a copy of this report; however should you need an additional copy after closing there is a service charge of three dollars per page.

**1000a. Cursory Explanation**

As defined by the Webster dictionary - Is rapidly, often superficially, performing. Is passing hurriedly over something, which invites exhaustive treatment, as hasty and concerned only about the obvious, and not penetrating.

**1002. Structure:**

Single Family one story frame dwelling with brick and vinyl veneer, Built in 1957, Reported to have 1731 Square Feet , 2 bathrooms, Fireplace, Front entry faces north , 1 HVAC unit(s), Grey Asphalt shingle roof. The home was not occupied at the time of this inspection

<b>1003. Area / Street:</b> Paved through	<b>1005. Weather Conditions:</b> Clear. Temperature 46	<b>1006. Start/End Time:</b> 10:00; 12:30.	<b>1010. Present During Inspection:</b> Client; Clients Agent; sellers Agent; Termite Inspector
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**PURPOSE AND SPECIFIC CONDITIONS OF THE INSPECTION**

This Inspection report is provided to the above customer expressly upon the mutual consent to the terms stated in the Inspection Agreement, (IA), between the customer and Cravens Home Inspection Services, (CHIS). The mutual consent may be shown by the customer's signature on the IA, and/or acceptance of the inspection report by the customer, as evidenced by the customer's possession thereof. If the customer does not accept the terms of the IA, the report shall remain sole property of CHIS.

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### **SCOPE OF INSPECTION:**

THE SCOPE OF THIS INSPECTION IS TO REPORT THE GENERAL CONDITIONS OF VISIBLE PORTIONS OF PRIMARY BUILDING(S) ON THE PROPERTY AND TO INFORM THE "CLIENT" OF MAJOR VISUAL DEFICIENCIES AS THEY EXIST ON THE DATE OF THE INSPECTION.

The inspection is limited to a visual examination (cursory examination) of the exposed and readily accessible surfaces of the building. The inspection to be performed is a visual inspection only and does not contemplate or involve the dismantling or moving of an object or portion of the premises. The inspection is not designed to investigate for latent or concealed defects, fraudulent conditions, or "cover-ups" by other parties.

It is distinct from a specialist inspection, which can be costly, take several days to complete, involve the use of specialized instruments, the dismantling of equipment, video-scanning, destructive testing, and/or laboratory analysis. By contrast, the general inspection is completed on-site, at a fraction of the cost and within a few hours. Consequently, the general inspection and its report will not be as comprehensive as that generated by specialists and it is not intended to be. Our purpose is to identify defects or adverse conditions that could result in injury or lead to costs that would significantly affect your evaluation of the property, and to alert you to the need for a specialist evaluation. We evaluate conditions, systems, or components, and report on their condition, which does not mean that they are ideal but that they are either functional or met a reasonable standard at some point in time. We do take into consideration when a house was built and allow for the predictable deterioration that would occur through time, such as the cracks that appear in concrete and in the plaster or drywall around windows and doors, scuffed walls or woodwork, worn or squeaky floors, and sticking (i.e. difficult to open, painted shut., etc.) windows. Therefore, we tend to ignore insignificant and predictable defects, and do not annotate them, and particularly those that would be apparent to the average person or to someone without any construction experience. We are not authorized, or have the expertise, to comment on termites, dry rot, fungus, or mold, but may alert you to its presence. Regardless, you should schedule any such specialized inspection, such as that for the presence of mold, with the appropriate specialist before the close of escrow. A house and its components are complicated, and because of this and the limitations of a generalized report, we encourage you to ask questions. In fact, we encourage candid and forthright communication between all parties, because we believe that it is the only way to avoid stressful disputes and costly litigation.

Remember it is essential that you read all of your report, and that any recommendations that we make for service or evaluation by specialists should be completed and documented well before the close of escrow, because additional defects could be revealed by a specialist, or some upgrades recommended that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

No representation is made as to how long any equipment will continue to function. This inspection is limited to the real property and does not include personal property unless so indicated in this inspection report. Maintenance and other items may be discussed but they are not a part of our report.

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## Standard Home Inspection

### GROUNDS & DRAINAGE

#### Components for Inspection

\*Building perimeter, land grade, and water drainage directly adjacent to the foundation, Trees and vegetation that may adversely affect the structure.

#### Limitations

\*The inspector is not required to inspect fences or privacy walls; evaluate the condition of trees, shrubs, and/or other vegetation; evaluate or determine soil or geological conditions site engineering, or property boundaries.

Step #	Component	Comment
1102.	Moisture & Related Problems	<b>Comments</b> . Moisture. Moisture intrusion is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors of a residence are at the same elevation or lower than the exterior grade we could not rule out the potential for moisture intrusion and would not endorse any such areas. I have discovered evidence of moisture intrusion inside homes when it was raining that would not have been apparent otherwise. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you should schedule a specialist inspection.
1103.	Site Conditions/Exterior Drainage	<b>Acceptable</b> . Acceptable. Property is graded so that the water drains away from the residence
1104.	Grade Clearance At Walls	<b>Acceptable</b> . *There is generally an adequate difference in elevation between the exterior grade and the interior (main level) floors that should ensure that moisture intrusion would not threaten the living space, but of course we cannot guarantee that.
1105.	Landscaping Observations	<b>Repair or Replacement Recommended</b> There are tree limbs overgrowing the service cable that should be trimmed to insure that they do not impact or damage the service cable which would be hazardous. <ul style="list-style-type: none"> <li>• Trim the tree limbs back at least five feet from the service cable and bring to normal.</li> </ul>

## Standard Home Inspection

### ROOF

#### Components for Inspection

Roof covering material. Gutter and downspout system. Visible portions of roof flashings. Roof skylights and other roof accessories. Roof penetrations and chimneys.

#### Limitations

The inspector is not required to walk on or access a roof where it could damage the roof or roofing material or be unsafe for the inspector. Remove snow, ice, debris or other conditions that prohibit the observation of the roof surface. Inspect antennas, lightning arrestors, or similar attachments. Operate power ventilators. Determine remaining life expectancy of roof coverings, presence of hail damage; manufactures' defects, exceptions, installation methods or recalls; or number of layers. Determine the adequacy of roof ventilation. Inspect the interiors of flues or chimneys which are not readily accessible.

#### Asphalt Shingles.

There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. These roofs are warranted by the manufacturer to last twenty to twenty-five years and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. Poor maintenance is the most common cause of roof failure, but a southern exposure can cause a roof to deteriorate prematurely, as will the practice of layering over another roof. However the first indication of significant wear is when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means the roof is in decline, and therefore susceptible to leakage. This typically begins with hip and ridge shingles and the field shingles on the south facing side. This does not mean the roof is ready to be replaced, but that it should be serviced or monitored. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage. This is most important, because in accordance with industry standards our inspection service does not include a guarantee against leaks. For such a guarantee, you would need to have a roofing company perform a water test and issue a roof certification. However, the sellers or occupants will generally have the most intimate knowledge of the roof, and you ask them about its history and the schedule regular maintenance. Due to our hail storms and extreme heat the insurance industry will normally rate roofs in our region on a 15 year life span.

#### Chimney

There are a wide variety of chimneys, which represent an even wider variety of interrelated components that comprise them. However, there are three basic types, single-walled metal, masonry, and pre-fabricated metal ones that are commonly referred to as factor-built ones. Single-walled metal ones should not be confused with factory-built metal ones, and are rarely found in residential use, but masonry and factory-built ones are a commonplace. Our inspection of them is that of a generalist not a specialist, and meets NAHI standards. However, significant areas of chimney flues cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992: " A full examination should, however, include the entire flue. The inner reaches of a flue are relatively inaccessible, and it should not be expected that the distant oblique view from the top or bottom is adequate to fully document damage even with a strong light." Therefore, because our inspection of chimneys is limited to those areas that can be viewed without dismantling any portion of them, and does not include the use of specialized equipment, we will not guarantee their integrity and recommend that they be video-scanned before the close of escrow.

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**Roof Advisory:**

While the roof appears to be in acceptable condition for its age, this is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification. And I would further recommend a full written evaluation of the roof by a roofing contractor prior to the close of escrow. The evaluation should include all cost for repairs whether mentioned in this report or not. Then repair as required to bring to normal.

**Roof Insurance:**

Homeowner's insurance companies use different standards and criteria for determining whether or not they will issue an insurance policy. These standards differ from insurance company to insurance company depending on their marketing agenda. In view of this, please be advised that this report does not certify nor guarantee that an insurance company will accept or reject and insurance policy based on the condition of this roof. I recommend that the client contact his/her insurance agent without delay to determine the insurability of this roof and structure.

<b>Roof Design:</b> Gable with a single layer of asphalt composition shingles.	<b>Evaluation Method:</b> The roof and its components were evaluated by walking on its surface.	<b>Roof Drainage System:</b> Gutters with Downspouts
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Step #	Component	Comment
1200b	Roof Material	<b>Comments</b> . *; Asphalt Shingles. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. These roofs are warranted by the manufacturer to last twenty to twenty-five years and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. Poor maintenance is the most common cause of roof failure, but a southern exposure can cause a roof to deteriorate prematurely, as will the practice of layering over another roof. However the first indication of significant wear is when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means the roof is in decline, and therefore susceptible to leakage. This typically begins with hip and ridge shingles and the field shingles on the south facing side. This does not mean the roof is ready to be replaced, but that it should be serviced or monitored. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage. This is most important, because in accordance with industry standards our inspection service does not include a guarantee against leaks. For such a guarantee, you would need to have a roofing company perform a water test and issue a roof certification. However, the sellers or occupants will generally have the most intimate knowledge of the roof, and you ask them about its history and the schedule regular maintenance. Due to our hail storms and extreme heat the insurance industry will normally rate roofs in our region on a 15 year life span.
1202.	Main Roof	<b>Comments</b> . *; Single layer present. This cursory inspection of the roof reveals (in general), it appears to be in reasonably good condition. Some roof problems are not noticeable except under performance testing.

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1205. Roof Condition: **Acceptable** . Acceptable / Advisory. While the visible portions of the roof covering appear to be in acceptable condition for its age at the time of this inspection, however this is not a guarantee against leaks, hidden defects or longevity. For a guarantee, you would need to have a roofing company further evaluate the roof and issue a roof certification. And I would further recommend a full written evaluation of the roof by a roofing contractor prior to the close of escrow. The evaluation should include all cost for repairs whether mentioned in this report or not
- 1205c Life Expectancy: **Acceptable** . Acceptable. It is beyond the scope of this inspection to determine the life of the roof however with normal maintenance and no wind or hailstorms, the roof surface appears to have a remaining useful life of more than two years. However this is not a guarantee as my opinion as to the longevity of the roof is subjective at best however a full evaluation, with written findings and cost to cure, by a roofing contractor is advised as some roof problems are not noticeable except under performance testing. Buyer to decide if further action is required
1206. Valley Flashings: **Acceptable** . \*Valley flashings are checked for signs of deterioration. An acceptable rating indicates the flashings appear to be performing their designed function and that their condition is appropriate their age and use
- 1206a Flashings: **Acceptable** . Flashings. Flashings provide a water tight seal at roof penetrations (i.e. plumbing, chimneys, flues), which are prone to leaking and should be re-inspected annually
- 1206a Chimney Flashing: **Acceptable** . Mastic. Some mastic has been applied around the chimney flashings and is a temporary repair at best, and inasmuch as approved installation methods do not include the use of mastic its presence is either indicative of an amateur installation or a confirmation of leaks. It would be prudent to ask the sellers about this or have a specialist evaluate. Regardless, the flashings should be monitored and replaced when the roof covering is replaced or if any leakage is noticed. When replaced; the side cap flashing, back cap flashing and front cap flashing must be let into the mortar joint of the chimney one (1) inch as required.
- 1206b Roof Vents: **Acceptable** . Pipes; \*. Plastic Metal  
Roof vents provide the means ventilation the roof interior structure, attic spaces and plumbing. Attention to caulking needs due to deterioration is the most common maintenance requirement.
1207. Fascia / Soffit / Trim: **Acceptable** . Vinyl siding.; \*. The soffit, fascia board and trim are in acceptable condition.
1208. Chimneys/Flue: **Acceptable** . \*There are a wide variety of pre-fabricated chimneys, which are constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer. For instance, experience has taught us that many prefabricated chimneys have been fitted with architectural shrouds that are not approved by the manufacturer, and which can inhibit drafting and convectional cooling. Therefore, you may wish to have a specialist evaluate the chimney before the close of escrow. Spark arrester / weather cap installations are not removed.

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1210. Gutters /  
Downspouts

**Repair or Replacement Recommended**. Debris.

The gutters contain leaves and debris and need to be cleaned and serviced to drain properly.

- Gutters are a key component in the controlled drainage of run-off water away from the home's exterior elements. Water backing up in the gutter may add sufficient weight to the gutter to cause its detachment from the structure and deterioration of the fascia, soffit or roof edge. Debris in gutters will also contribute to Ice Damming in the winter. Gutters that do not perform as intended may result in saturation of soils near the foundation, which in turn can result in basement moisture or leakage issues.
- Clean the debris from the gutters and assure that the water freely flows and drains from the gutter and bring to normal working order.

1211. Downspout  
Drainage

**Acceptable** . Acceptable. Downspouts need to divert the water away from the foundation. No discrepancies were noted at the time of this inspection.

**STRUCTURAL**

**Components for Inspection**

\*Foundation walls, first-floor systems, other support and sub-structure components, stairs. Ventilation (when applicable). Grade slab and/or floor slab. Visible structural components. Wall coverings and trim. Windows and doors. Attached porches, decks, steps, balconies, handrails, guardrails, and carports.

**Specific Limitations - Exterior**

The inspector is not required to do the following: report on the condition or presence of storm windows or doors, awnings, shutters, locks, latches or other security devices or systems, fences, seasonal accessories, geological, geotechnical or hydrological conditions, recreational facilities, outbuildings, erosion control and earth stabilization measures, determine the condition of paints, stains or other surfaces coatings, determine the presence of, or extent of, insulation or vapor barriers in exterior walls. We do not probe under foundations, attached porches, decks, balconies or carports.

**Additions or Renovations**

If the property has been added onto or renovated the buyer should request any documentation, including permits, warranties and guarantees, which might be applicable. We do not approve or tacitly endorse any work that was completed without the proper permits and latent defects could exist.

<b>Foundation:</b> Stem Wall / Crawl Space.	<b>Exterior Walls:</b> The exterior walls are conventional wood stud framing with brick veneer	<b>Patios, Wood Decks:</b> Wood Deck
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I am not aware of any soil report being made for this residence however the house appears to be built on active soil which exhibits volume changes (a cause of foundation movement) due to excessive dry or wet conditions. Minor foundation movement and subsequent hairline cracks and minor separations (1/4 of an inch or less) on the interior and exterior of the house are normal as a result of the shrink-swell tendency of the underlying clay soil, common for this area.

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Step #	Component	Comment
1300.	Foundation	<b>Comments</b> . Stem Wall / Crawl Space. This residence has a raised foundation. Such foundations permit access and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits and ducts. However, although raised foundations are far from uniform, most include concrete footings, and walls that extend above the ground with anchor bolts that hold the house onto the foundation. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist.
1300a	Foundation Condition	<b>Acceptable</b> . *The exterior foundation appears to be in a stable state. There are no indications the exterior footings have shifted or settled. The exterior brick veneer appears to be in good condition and is stress crack free around the complete perimeter. The stem walls exhibit no signs of rotational displacements. Baseboard and wallboard seams viewable on the inside corners of all outside walls are tight, cabinetry flush and the floors retain a good solid feel, which are all good indicators of the relative stableness of the exterior foundation elements.
1301a	Wood Rot / Deterioration of Exposed Wood	<b>Comments</b> . Termite Co.. A wood rot inspection was performed by Sureshot Termite company - refer to their report for details and recommendations
1303.	Exterior Walls	<b>Acceptable</b> . *; Vinyl - The house walls are finished with vinyl siding The design of the exterior wall structure usually includes provision for exterior finishes such as brick or cladding, openings such as doors and windows, protection from air and water infiltration, and thermal insulation. Exterior walls resting on foundations should be considered load bearing, and should not be altered without evaluation by a structural expert.
1304.	Exterior Veneers	<b>Acceptable</b> . Vinyl - The house walls are finished with vinyl siding. Vinyl siding does not typically require maintenance unless damaged. Replacement is the most common method of repair. Vinyl siding over natural wood can hide deterioration that is detectable only when the siding was installed, or if the siding is removed for inspection or repair.
1304a	Structural Movement	<b>Comments</b> . Not Present. The inspection revealed the foundations appear to be in an acceptable structural condition. There are no indications of apparent settlements having occurred to any of the exterior perimeter footings, around all sides of the exterior floor slabs, fireplace chimney, foundations or foundation elements. The structure appears to be stress crack free around the exterior of the perimeter and throughout the interior of the structure.
1306.	Exterior Doors	<b>Acceptable</b> . Doors. Doors may be made of wood or insulated metal. Most exterior doors are three feet wide and have three solid hinges, positive weather tight seals and dead bolt locking capabilities. Doors are checked for alignment, and to see if they close and latch properly.. If a house experiences settling or movement within the walls, one of first noticeable signs will likely at the doors. If a door sticks it usually means the door or doorframe is no longer square. Sticking doors are evaluated for potential settlement problems. Cosmetic items are not reported. No discrepancies were noted at the time of this inspection
1307.	Windows	<b>Repair or Replacement Recommended</b> . <ul style="list-style-type: none"> <li>4 of the 8 windows on the east side of the home have cracks in the window panes</li> </ul>



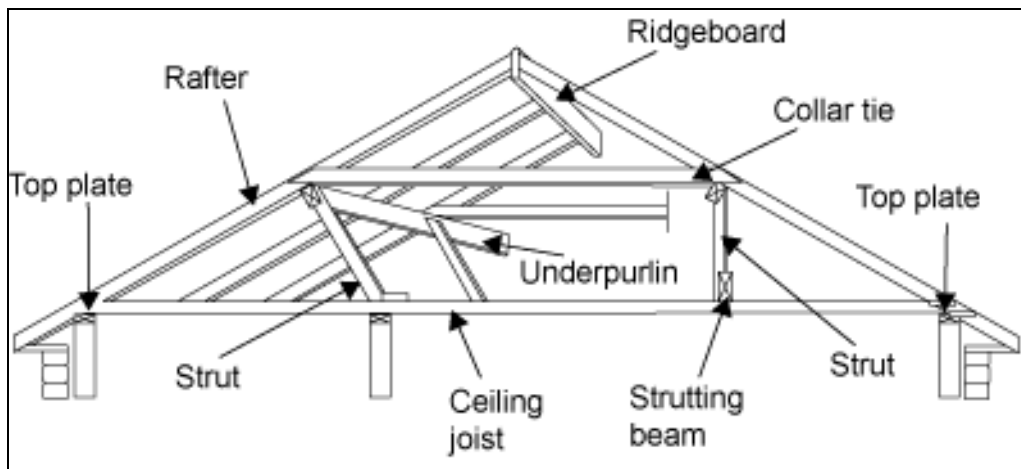
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1308. Window Screens      **Comments** . \*We do not evaluate window screens, because many people choose to remove them for aesthetic reasons. Also they are easily damaged and can be removed after our inspection. Therefore we choose to disclaim them.
1313. Patios, Wood Decks & Balconies      **Acceptable** . Wood Decks. An in-depth evaluation of the wood deck or balcony is beyond the normal standards of this inspection. Since the average safe life of a wood deck is ten to fifteen years I would recommend that the buyer should have the balcony or deck fully evaluated by a qualified installation contractor and certified in writing. The average life expectancy of a wood deck is 10 to 15 years. It is important that decks are properly inspected and maintained on a routine basis.
- 1313a Steps      **Repair or Replacement Recommended**.
- The front steps are covered with outdoor carpet which is loose and a trip hazard
1314. Walkways / Driveways / Steps      **Acceptable** . \*Walks and driveways are checked for major heaving in the concrete, which presents trip hazards. Poured concrete often cracks due to drying and shrinkage. Excessive cracks often create trip hazards and correction may require replacement of the concrete. Asphalt driveways need regular maintenance and resealing. Sidewalks can become damaged by tree roots and settlement. Excessive cracks can often be repaired by replacing sections of the sidewalk.
- 1307a Storm Windows/Doors      **Acceptable** . \*The residence is equipped with storm windows that appear to be in normal working order at the time of this inspection.

## Standard Home Inspection

### ATTIC



#### Components for Inspection

Roof framing. Sheathing and decking; Attic insulation; Electric; Ductwork.

#### Specific Limitations

The inspector is not required to do the following: enter attic spaces which are not accessible, including those where headroom is less than five feet, with insulation covering the ceiling joist, or bottom truss cord or if there are obstructions, trusses, or other detrimental conditions. Where physical damage to framework, ceilings or insulation could result, enter spaces which present a hazard to the inspector, as reasonably determined by the inspector, determine the u-factor of insulation in walls and ceilings, inspect internal gutters, downspouts, or drainage pipes. Investigate the presence of water penetration.

<b>Construction:</b> Site built with OSB decking, rafter's, ridge board, collar ties, and purlin braces. The rafters appear to be braced properly and do not display any signs of undue deflections.	<b>Insulation:</b> Blown Fiberglass covering the ceiling joist.	<b>Ventilation:</b> Roof vents, Soffit vents (?)
<b>Attic Access:</b> The attic is accessed in the garage using a pull down ladder	<b>Attic Type:</b> Full.	

Step #	Component	Comment
1603.	Ductwork	<b>Acceptable</b> . *The mechanical ducts have been routed through the attic discharging through ceiling vents. They appear to be well insulated and free of any defects at the time of this inspection. No air leaks were noted
1606.	Furnace / Water Heater Exhaust	<b>Acceptable</b> . *When possible the exhaust is check for any signs of deterioration and to the joints are checked for correctness in their installation.

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1608. Roof Structure **Acceptable** . \*Site built. The visible portions of the conventionally stacked roof framing (rafters & ceiling joist) appear to be in acceptable condition, and would conform to the standards of the year in which they were installed. The members in the attic appear to be functioning acceptably in general and the rafters exhibit no signs of undue deflection and the bracing appears adequate however analyses for design and construction problems are beyond the scope of this inspection. A representative number of joist and rafters were inspected however each individual joist and rafter was not inspected. Due to safety reasons we do not enter areas of the attic when the insulation covers the ceiling joist.
1609. Insulation **Acceptable** . \*; Blown Fiberglass Insulation. I have evaluated the attic in compliance with industry standards, and found it to be in acceptable condition. However all portions of the attic may not be viewable due to insulation covering the ceiling joist or other obstructions beyond our control. Determination of the U-factor or R-value is beyond the scope of this inspection.

**INTERIOR STRUCTURE**

**Components for Inspection**

Walls, ceilings, floors, windows, and doors. Steps, stairways, balconies, railings, countertops and a representative number of installed cabinets, where readily accessible.

**Limitations**

\*Our visual inspection of the interior portion of the house is limited in scope by the following conditions: Furniture, storage, appliances, and/or wall hangings are not moved to permit inspection and may block defects; The determination of odors, non-visible, visible mold and mildew is excluded, The condition of wood floor sub-floor and/or concrete slab below the floor coverings is outside the scope of this inspection, Determining the presence of a moisture barrier and/or its integrity under concrete slabs is outside the scope of this inspection, Flooring layers, under floor condition and the presence of asbestos materials is outside the scope of this inspection. Lighting variations and atmospheric conditions vary and the detection of leaking dual pane window and skylight seals is not always possible. It is not possible to guarantee against future leakage of dual pane window seals. Carpeting, window treatments, central vacuum systems, recreational facilities, paint, wallpaper, and other finish treatments are not inspected. The inspector is not required to: determine the condition of the floor, wall or ceiling coverings, determine the condition of paints, stains and other surface coatings or determine the condition of cabinet's .Structural components behind finished surfaces cannot be inspected

**Additions or Renovations**

If the property has been added onto or renovated the buyer should request any documentation, including permits, warranties and guarantees, which might be applicable. We do not approve or tacitly endorse any work that was completed without the proper permits and latent defects could exist.

<p><b>Walls:</b> Sheetrock The walls appear to be well framed and braced. The wall board is stress crack free and the corner seams are tight.</p>	<p><b>Ceilings:</b> Sheetrock The upper superstructure appears to be well framed and braced. The ceiling board is stress crack free and the corner seams are tight.</p>	<p><b>Floors:</b> Wood floor over a crawl space</p>
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<b>Windows:</b> Vinyl and wood	<b>Movement:</b> Not Present	<b>Interior:</b> Vacant
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Step #	Component	Comment
1700c	Movement	<b>Comments</b> . Movement Not Present. I did not observe any signs of present or past structural movement. The windows opened as designed as did the doors. The baseboard and wallboard seams on the inside corners of all the outside walls are tight, which are good indicators of the relative stableness of the exterior foundation elements. There were no signs of cracks or repairs present around the windows or doors adjacent to any exterior cracks.
1701.	Walls:	<b>Acceptable</b> . Drywall / Plaster / Painted; *. The walls are conventionally framed with wooden studs. The walls are checked for cracks, damage or any signs of structural activity. They are checked for water spots or stains which might indicate a leak either from the roof, bathroom or water pipes enclosed above the ceilings. No discrepancies were noted at the time of this inspection. As a result, the interior walls throughout the home were found to be in good condition, the wall board is stress crack free and the cabinetry seams are tight.
1702.	Ceilings:	<b>Repair or Replacement Recommended</b> . Drywall / Plaster / Painted. <ul style="list-style-type: none"> <li>• There are what appears to be fresh water stains in out area of SE bedroom ceiling</li> </ul>
1703.	Doors:	<b>Acceptable</b> . *The primary purpose of interior doors is to meet the privacy needs to various rooms and areas of the home, and in the case of closets, to enclose storage areas. Doors are checked for alignment, and to see if they close and latch properly.. If a house experiences settling or movement within the walls, one of first noticeable signs will likely at the doors. If a door sticks it usually means the door or doorframe is no longer square. Sticking doors are evaluated for potential settlement problems. Cosmetic items are not reported. No discrepancies were noted at the time of this inspection
1703a	Patio Door	<b>Acceptable</b> . Sliding; Metal/Vinyl. Sliding doors require periodic adjustment and may require cleaning to the rails and rollers to ensure smooth operation of the door.
1703b	Garage Door	<b>Acceptable</b> . Metal / Panel. The garage door is an overhead metal panel type which appears to be in acceptable condition at the time of this inspection.
1704.	Windows:	<b>Advisory Only</b> . Wood / Double hung. Vinyl <ul style="list-style-type: none"> <li>• The awning windows in the bedrooms would not open - cranks are defective, however permanent storm type windows have been installed and even if the cranks were working the windows could not be opened.</li> </ul>
1705.	Floors	<b>Acceptable</b> . Combination; *. Floor-slab and its transition to perimeter foundation, including chimney foundation, if one exist. These areas are not viewable due to floor coverings and molding. This inspection does not look under or lift any floor materials. Floor elevation measurements are not taken, thus any un-level or damaged floors may not be detected. Buyer should insure that all known hidden problems are disclosed and if concerned order a more exhaustive and specific analysis

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- 1705b Garage Floors **Acceptable** . \*The garage floor elements in homes are usually poured concrete and are not structural in nature. Examination of the visible portions of the garage floor and stem wall revealed no indications of significant activity. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.
1707. Cabinets **Acceptable** . \*; Wood. Cabinets should be securely attached to the structure to prevent damage to the cabinets and to prevent the cabinet from becoming detached.
1708. Countertops **Acceptable** . Solid Surface.

## PRIMARY COMPONENTS

### Components for Inspection

\*Fuel source, Heating equipment, Heating distribution, Operating controls, Flue pipes, chimneys and venting, cooling equipment, cooling distribution.

### Specific Limitations

\*The inspector is not required to do the following: Determine the efficiency, adequacy or capacity of the systems; Determine the uniformity of the supply of conditioned air to the various parts of the structure; Determine the types of materials contained in insulation, wrapping of pipes, ducts, jackets, boilers and wiring; Operate venting systems unless ambient temperatures or other circumstances, in the reasonable opinion of the inspector, are conducive to safe operation without damage to the equipment; or operate a unit outside its normal operating range as reasonably determined by the inspector; determine water temperature.

### Air Conditioner Specific Limitations

The inspector is not required to do the following: Operate a cooling system when the outdoor temperature is below 65 degrees Fahrenheit; Determine the proper operation of Condensate equipment; Inspect gas-fired refrigerant systems; Inspect for the pressure of the system coolant or determine the presence of leaks; Determine the efficiency of a system, determine the tonnage of the system; Inspect any equipment which is not in an accessible area or dismantle any equipment, controls or gauges; Determine the electrical draw of the system; Program digital type thermostats or controls; Operate set back features on thermostats or controls; or Inspect interior components of an evaporative cooler when the unit has been drained or shut down.

### Furnace Specific Limitations

The inspector is not required to do the following: Activate or operate heating systems which have been shut down or which do not respond to normal control devices; Determine fully the performance of heat exchangers; Inspect any equipment unless the equipment is located in an accessible area; Dismantle any equipment, controls or gauges; Inspect accessories such as humidifiers or air purifiers, motorized dampers, heat re-claimers, electronic air filters or wood burning stoves; Determine the efficiency or adequacy of a system; Inspect solar heating systems; Activate heating or heat pump systems if ambient temperatures or other circumstances are, in the reasonable opinion of the inspector, not conducive to safe operation without damage to the equipment; Program digital type thermostats or controls; or Operate radiant heaters, steam heat systems or unvented gas-fired heating appliances. Light the pilot light if not on at time of inspection

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<b>Air Conditioner:</b> Goodman. Model. GSC130361DF Serial# 0806320115 RLA 16.4 amps - (divide the RLA by 6 to 8 to get an approximate tonnage)	<b>Furnace:</b> Gas Forced Air Furnace Rheem. Classic 90 plus Model #RGTA-07EMAES. Serial #FY5D702F240510589 Mfg 06/2005. Mono Port Burners	<b>Water Heater:</b> Natural gas Bradford White. Model. MI40TH6FBN Serial# JB16260335. 40 gallon No Odor Of Gas Noted At The Time Of This Inspection.
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Step #	Component	Comment
1801.	Air Conditioner	<b>Comments .</b> Determining if the Air Conditioner is the correct size for the house is beyond the normal scope of this inspection
1802.	Air Conditioner Condition	<p style="color: red; text-decoration: underline;">Repair or Replacement Recommended.</p> The refrigerant suction line insulation is missing / damaged. <ul style="list-style-type: none"> <li>• Insulation is required on the larger of the two coolant lines, to minimize heat gain to the coolant as it is transported through the line. The insulation around the return line (the larger line) to the air conditioner compressor helps improve efficiency of the unit. Often it will be worn off by gardening equipment, animals, etc., or may not have been secured when installed. The insulation cover should be complete along the full length of the coolant line, with no missing, damaged, or deteriorated sections. A section of un-insulated refrigerant line will cause a heat gain to the refrigerant. Heat gain of the system refrigerant during its transport from the inside unit (evaporator) to the outside unit (condenser) will reduce the system efficiency, waste energy, and increase operating cost.</li> <li>• Install insulation on the refrigerant suction line and bring to normal.</li> </ul>
1803.	Furnace	<p><b>Comments .</b></p> No abnormal flame movement noted. *No odor of gas noted at the time of this inspection. *The view of the heat exchanger is often concealed by design and only a limited section of the heat exchanger could be viewed with our camera. While we try as best we can to observe any defects in the heat exchanger and acceptable rating does not guarantee the heat exchanger is free of defects for purposes here in. Dismantling of the furnace is required to thoroughly inspect the heat exchanger for cracks and is beyond the scope of this inspection.
1805a	Water Heater Condition	<b>Acceptable .</b> *The water heater is checked for the proper height in relation to its location, for proper installation, proper temperature, carbon monoxide, T/P drain line installation, and overall appearance however the T/P valve is not opened as it has a tendency to not reset and will leak once opened. The interior burner compartment and components are also evaluated.
1806.	Water heater Venting	<b>Acceptable .</b> *The exhaust of gas from the water heater can be dangerous if it is spilled out into the living quarters of the residence. The exhaust is check for proper installation and that all joints are properly sealed with aluminum metal heat tape where needed.

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1807. Water Heater Advisory **Comments** . \*There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water softening systems. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.
1808. Air Filters **Repair or Replacement Recommended** . Dirty.  
 Air filter in return air vent dirty.
  - Dirty filters will restrict air flow which may cause the evaporator coils to freeze up or become contaminated and in the winter dirty filters will cause the furnace to overheat which may damage the heat exchanger.
  - Install clean air filters and bring to normal.
1809. Air Ducts **Acceptable** . Located within the crawl space.
1810. Air Quality **Comments** . \*There is always the possibility of potential contaminants in the air supply system, which is not discernable at the time of this inspection. Health is a personal responsibility and I would caution the buyer to have the air quality of the home tested and the air supply ducts and evaporator coil cleaned as a wise investment in environmental hygiene. I would recommend you have the air quality tested as a prudent investment in environmental hygiene, and particularly if you or any member of your family suffers from allergies or asthma.
1811. Registers **Acceptable** . \*The registers are reasonably clean and functional. However the air supply ducts are beneath the concrete slab and not viewable. There is always the possibility of significant problems inside this area. We would always highly recommend the buyer perform a full evaluation using a duct camera. An acceptable rating does not imply that the air ducts are free of defects for purposes herein.
1812. Return Air Vent **Repair or Replacement Recommended** . Dirty.
  - The return air vent is full of particulate and should be cleaned. Furthermore would recommend you have the air quality tested as a prudent investment in environmental hygiene, and particularly if you or any member of your family suffers from allergies or asthma.
1812. FVIR **Comments** . \*Newly Designed Water Heaters Flame Vapor Ignition Resistant Units (FVIR)To meet the American National Standards Institute's new standard for gas water heaters, a new water heater has been introduced to the market. The objective is to reduce the potential of fire or explosion from flammable vapors ignited by gas water heaters. When you remove the inspection shield, a device called an arrestor plate is now installed at the combustion chamber. The arrestor plate will allow flammable vapor along with the combustible air to be pulled through and ignited. But the plate keeps the flame from passing back through to the atmosphere. Another safety feature is a temperature sensor that recognizes the event and shuts off the burner as well. For liability purposes the manufacturer recommends all units be raised 18" above the floor where combustibles are or might be stored.

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1815. Humidifier Present **Comments** . \*In accordance with state standards, we do not evaluate humidifiers as part of our service. However, because warm moisture can promote the growth of bacteria, yeasts, and molds, their reservoirs must be kept clean when in use, and desalinated and serviced when they are not in use.

## FIREPLACE

### Components for Inspection

The inspector shall inspect the gas valve, log lighter firebox and readily accessible portions of the vent systems, flues, and chimneys

### Specific Limitations

The inspector is not required to inspect the interiors of flues or chimneys, fireplace screens and doors, the seals and gaskets, the automatic fuel feed devices, the mantels or fireplace surrounds, the combustible make-up air devices, or heat distribution assist whether gravity controlled or fan assisted. The inspector is not required to ignite or extinguish fires, determine draft characteristics, or move fireplace inserts, stoves or firebox contents.

Step #	Component	Comment
1901.	Firebox Condition	<b>Comments</b> . Vent-free. Decorative Gas Logs Present. It is recommended the unit be demonstrated for you at the final walk-through <ul style="list-style-type: none"> <li>• Vent-free fireplaces operate using natural or propane gas. Most models do not require electricity. Natural or propane gas fuels the flame through a permanent line that is connected to a blue-flame/yellow-flame burner or ceramic plaque burner within the heating appliance.</li> </ul>
1902.	Gas Control Valve	<b>Not Present</b> .
1903.	Log Lighter	<b>Not Present</b> .
1904.	Damper	<b>Not Present</b> .
1905.	Chimney	<b>Not Present</b> .
1907.	Glass Doors	<span style="border: 1px dashed black; padding: 2px;"><b>Repair or Replacement Recommended</b></span> . <ul style="list-style-type: none"> <li>• The glass window is fogged which is not normal.</li> </ul>
1908.	Hearth	<b>Acceptable</b> . *The hearth is in acceptable condition
1909.	Mantle	<b>Acceptable</b> . *The fireplace mantel is in acceptable condition.



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1910. Gas Logs      **Comments** . \*\*Gas logs product more carbon monoxide than any other component in the home therefore we recommend using caution when gas logs are used in a fireplace. Dampers should be locked in the "open" position to allow products of combustion to vent to the exterior preventing carbon monoxide poisoning.
1911. Limitations      **Comments** . \*The testing of gas logs and fireplace inserts is beyond the normal scope of this inspection. The buyer should have the seller demonstrate the gas logs prior to the close of escrow

## GENERAL ELECTRIC

### Components for Inspection

\*Entrance of primary service from masthead to main panel; Main and sub panels including feeders. Branch circuits, connected devices, and light fixtures.

### Comments and Limitations

\*National safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one. The inspector is not required to do the following: Move any objects, furniture or appliances to gain access to any electrical component; Remove switch or outlet cover plates; Change light bulbs or install light bulbs where one is missing; Inspect any electrical equipment which is not in an accessible area; Dismantle any electrical device or control; Inspect ancillary systems, such as burglar and smoke or fire systems, lightning protection, low voltage systems, antennae, electrical deicing tapes, sprinkler wiring, swimming pool or spa wiring, intercom systems, any systems which are controlled by timers or photo voltaic cells, landscape lighting, cable TV wiring, telephone wiring, load or voltage regulators; or Trace wiring origins or wiring destination determine the ability of the system to comply with current codes, determine the service capacity amperage or voltage, dismantle any electrical device or control, insert any tool, probe, or testing device into main or sun panels, activate electrical systems or branch circuits which are not energized, operate overload protection devices, determine the adequacy of the ground conductors, determine the capacity of the electrical system relative to present or future use, determine the insurability of the property, conduct voltage drop calculations, move furniture, stored items or appliances to inspect panels, wiring or connections.

<b>Main Distribution Panel Location:</b> Master bedroom closet	<b>Sub-Panel Location:</b> East side of the home at the AC compressor	<b>Main Disconnect:</b> 100 amps. Breakers Located: main electric panel.
<b>Service:</b> Overhead 120/240 Volt Main Service	<b>Distribution Wiring:</b> Copper Service Non-Metallic Cable "Romex" Branch wires	<b>Ground Fault Current Interrupters:</b> Not Present
<b>Smoke Detectors:</b> Electric	<b>Electric Panel Components:</b> 100 amp service - (240 volt) Grounding - The panel is grounded to a driven rod. Circuit Protection - Breakers Copper Branch Wires Copper Service Cable 3-220 Amp Stations 15 - 110 Amp Stations	
	<b>Exterior Electric Panel Components:</b> 100 amp service - (240 volt) Circuit Protection - Breakers Copper Branch Wires Copper Service Cable 1 - 220 Amp Stations	

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### Ground Fault Current Interrupters;

Installing GFCI's within six feet of all wet fixtures, such as the kitchen, bathrooms, garage, laundry room and on exterior outlets is a very useful safety upgrade for the protection of the building occupants

### **\*\* Safety Warning\*\***

***A Zinsco™ or Sylvania™-Zinsco electrical panel is installed in this building. Serious electrical hazards may be present in the electrical panel which could result in overheating, fire, or inability to turn off the electrical power in the home. While the panel may appear in acceptable condition at this limited cursory inspection, a licensed electrician who is familiar with this equipment should be called to inspect the panel for immediate fire and shock hazards, and regardless of its visually-apparent condition, the buyer should consider having this equipment replaced. Significant expense may be involved. Additional information about this hazards is available at an independent building failures research website: [www.inspect-ny.com/electric/Zinsco.htm](http://www.inspect-ny.com/electric/Zinsco.htm)***

Step #	Component	Comment
2001.	Electric Service Cable	<b>Comments</b> . Trees; Service cable overhead. The electrical system is a 120/240-volt, 3-wire, single phase service and the overhead electrical service lines are secured at the pole and masthead
2003.	Electric Panel Condition	<b>Repair or Replacement Recommended</b> . <ol style="list-style-type: none"> <li>1. The Service cable double lugged (two wires into one lug connection)which is not acceptable</li> <li>2. Service cable insulated coating stripped too far back before it goes into the service lug and may be a hazard.</li> </ol>
2003b	Exterior Electric Panel Condition	<b>Repair or Replacement Recommended</b> . <ol style="list-style-type: none"> <li>1. Does not appear to be grounded</li> <li>2. Various circuits within the panel are not labeled. <ul style="list-style-type: none"> <li>• Have a licensed electrician properly identify all circuits and mark accordingly and bring to normal</li> </ul> </li> </ol>
2005a	Interior Receptacles Advisory	<b>Comments</b> . Old style polarized non-grounded outlets present - as originally installed. Ungrounded and obsolete outlets should be upgraded where possible to include more modern and safer ones, which provide a pathway for the current to travel harmlessly to the ground
2005a	Exterior Receptacles	<b>Repair or Replacement Recommended</b> . <ul style="list-style-type: none"> <li>• Weather proof cover damaged or missing from outlet above patio door</li> </ul>

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2006.	Ground Fault Current Interrupters	<b>Not Present</b> .
2007.	Interior Switches	<b>Acceptable</b> . *Responded as designed when tested. As a whole the switches throughout the house appear to be in serviceable condition.
2008.	Automatic Garage Door Opener	<p><b>Repair or Replacement Recommended</b> Genie Unit Powered by an Extension Cord - Not Acceptable.</p> <ul style="list-style-type: none"> <li>• To ensure electrical safety, vehicle door openers should have an electrical outlet located such that there is a direct connection to the outlet with the cord supplied by the manufacturer of the door opener. Extension cords should not be used, as these cords are generally not rated for the type of electrical load that may be encountered if the door motor jams. Failure to correct may result in shock or fire.</li> <li>• Have a licensed electrician install a proper outlet at the garage door opener and bring to normal working order. Install an electrical outlet at the door opener and bring to normal working order.</li> </ul>
2009.	Interior Light Fixtures	<b>Acceptable</b> . *Light fixtures are checked to see if they are working properly and attached properly. When a light bulb is not working we are not able to know or tell if the socket is working.
2009a	Exterior Light Fixtures	<p><b>Repair or Replacement Recommended</b></p> <p>The utility room door fixture would not respond when</p> <ul style="list-style-type: none"> <li>• Install new light bulbs, re-test and repair or replace as needed to bring to normal working order.</li> </ul>
2010.	Doorbell	<b>Acceptable</b> . *Responded as designed when tested
2011.	Ceiling Fans	<b>Acceptable</b> . *The ceiling fan is checked for proper balance, functional ability and for any visual discrepancies. Unit is performing its designed function and its condition is appropriate for its age and use
2013.	Smoke Alarms	<p><b>Repair or Replacement Recommended</b> .</p> <ul style="list-style-type: none"> <li>• The hall alarm would not respond when tested</li> </ul>
2013b	Smoke Alarms Advisory	<p><b>Advisory Only</b> . Old.</p> <p>The present smoke alarms appear to be the type that relies on "ionization" technology which works well to detect fires with fast flames. However the most deadly fires are the smoldering, smoky kind that can fill your home with toxic gases while you sleep. In those fires, experts say ionization alarms don't work well, going off too late or not at all.</p> <p>Recommend client upgrade the present ionization smoke alarms to photoelectric smoke detectors</p>

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2014. Carbon Monoxide Alarms **Comments** . \*Recommend buyer install a digital carbon monoxide alarms as safety upgrade. Standard carbon monoxide alarms do not alert you if there are small amounts of carbon monoxide in the air. However digital alarms while will not sound until a certain amount is received they will show small amounts on the screen. It has been documented that a long term exposure to even small amounts of carbon monoxide can cause health problems. Should you get a reading even if it is small you should immediately shut your furnace down and have it thoroughly tested for cracks in the heat exchanger.

**GENERAL PLUMBING**

**Components for Inspection**

The inspector shall inspect the interior water supply and distribution systems including all fixtures and faucets, the drain, waste and vent systems including all fixtures, the water heating equipment, the vent systems, flues, and chimneys, the fuel storage and fuel distribution systems, and the drainage pumps, sump pumps, and related piping.

**Limitations**

\*The inspector is not required to do the following: Operate any main, branch or shut-off valves; Inspect any system which has been shut down or otherwise secured; Inspect any components which are not visible or accessible; Inspect any exterior plumbing components such as water mains, private sewer systems, water wells, sprinkler systems, hot tubs, spas or swimming pools; Inspect fire sprinkler systems; Inspect or operate pumps or waste ejector pumps; Inspect the quality or the volume of well water; Determine the portability of any water supply; Inspect water-conditioning equipment, such as softeners or filter systems; Inspect solar water heating systems; Inspect private water supply systems, swimming pools or pressure tanks; Determine the effectiveness of anti-siphon devices on appropriate fixtures or systems; Operate free standing devices; Observe the system for proper sizing, design or use of proper material; or Inspect the gas supply system for leaks.

<b>Main Water Shut-off Location:</b> Water meter located in the front yard	<b>Main Fuel Shut-off Location:</b> Gas meter is located on the SE corner of the back yard.	<b>Water Pressure:</b> 70 psi
<b>House Sewer Cleanout Location:</b> I was unable to locate a cleanout for the sewer line. Clean outs are useful when attempting to remove obstructions within the drainage piping. Not all homes were built with cleanouts. In order to attempt to remove a blockage in a home without a clean out you will have to go down through a plumbing vent or have a proper cleanout installed.		
<b>Interior Water Supply Piping:</b> Galvanized water lines observed	<b>Drain, Waste and Vent Piping Materials:</b> Plastic drain lines, Plastic Vent Piping Cast Iron Waste drain lines	<b>Waste System:</b> Public Sewer System

Step #	Component	Comment
2101.	Kitchen Drains / Faucets & Visible Plumbing	<b>Acceptable</b> . *The kitchen faucets and plumbing systems are checked for leaks and drainage. They appear to be performing their designed function at the time of this inspection and their condition is appropriate for their age and use.

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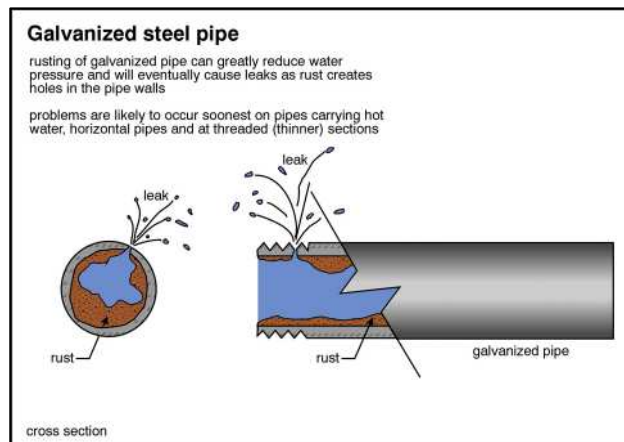
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| 2101a | Wet Bar<br>Drains Faucets<br>& Visible<br>Plumbing | <p><b>Repair or Replacement Recommended.</b></p> <ul style="list-style-type: none"> <li>• The hot water has been turned off to the faucet - not evaluated.</li> </ul>  |
| 2102. | Exterior<br>Faucets                                | <p><b>Repair or Replacement Recommended.</b></p> <ul style="list-style-type: none"> <li>• The SW faucet leaks around the stem while in use, which is indicative of a defective seal, and should be repaired or replaced.</li> </ul>  |
| 2103. | Sink Sprayer                                       | <p><b>Acceptable</b> . *It is not always possible to tell if the vegetable sprayer is designed to divert the water 100% from the faucet. While an acceptable rating indicates that the sprayer is working in an acceptable manner and has a good water flow, it may or may not divert the water 100%. Unit is performing its designed function and its condition is appropriate for its age and use</p>  |
| 2104. | Drain, Waste,<br>Vent piping<br>Materials          | <p><b>Comments</b> . Metal Vent Piping Material; Plastic Vent Piping Material; Plastic Drain Lines; Cast Iron Waste Drain Lines.</p>   |
| 2107. | Floor Drains                                       | <p><b>Comments</b> . *Floor drains or auxiliary drains are not a normal part of this inspection. Only the viewable portions are inspected and an acceptable rating does not imply that the drains are free of defects for purposes herein.</p>   |
| 2108. | Sewer Lines  | <p><b>Comments</b> . *The inspector is not required to determine the integrity of the underground main drain lines connecting to sewers however we attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive. I would also advise they buyer to have a licensed plumber video the sewer line for any problems when the home is over 20 years old.</p> |
| 2109. | Gas Main   | <p><b>Comments</b> . *You should be aware that gas leaks are not uncommon, particularly underground ones, and that they can be difficult to detect without the use of sophisticated instruments, which is why natural gas is odorized in the manufacturing process. Therefore, we recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak. The inspector is not required to determine the integrity of underground gas lines.</p>   |

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2110. Water Supply Lines

**Comments** . \*; Galvanized. No discrepancies were noted with the visible portions of the plumbing connections at the time of this inspection. Water supply lines installed from the meter to the house and under the slab floor are not a normal part of this inspection. The buyer may want to have a water line leak test performed by a qualified leak detection service. The potable water pipes within this residence are galvanized, and assumed to be original. They appear to be in acceptable condition. However, they may produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build-up of minerals within them, we do not endorse them. Galvanized water lines rust from the inside out and can become restricted over time. When low water flow is noted at plumbing fixtures, some restrictions may have occurred. We suggest further review by a qualified licensed plumbing contractor for repairs/replacement as needed to ensure proper water flow



2113. Water Shut Off Valve

**Comments** . Meter. The house water supply shut off valve is located at the meter however there may be a secondary valve located inside the home. Buyer should check with the seller to verify the presence of this secondary valve and its location.

2114. Water Line Leak Check

**Acceptable** . \*yes. The water line leak check is a simple check whereby all the faucets and toilets are checked to insure they are not leaking excessively then the water meter is checked for any indication by the leak meter that water is flowing. An acceptable rating does not guarantee that there may not be a leak in the underground system that is not noticeable by this check.

2115. Yard Light

**Repair or Replacement Recommended**

- The gas yard light is in disrepair

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**KITCHEN APPLIANCES**



**Components for Inspection**

The inspector shall inspect the following installed household appliances: garbage disposal, oven, cook top, dishwasher, vent hood, and built in stove.

**Specific Limitations**

We test the kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, the inspector is not required to inspect the, the household appliances that are free standing , refrigerators, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, water purifiers, barbeques, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by underground conduits or extension cords. Or appliances not listed above.

**Dishwasher:**  
Whirlpool

**Stove:**  
Kenmore / Electric

**Microwave:**  
Not Present

**Vent Hood:**  
Broan

Step #	Component	Comment
2201.	Dishwasher	<b>Acceptable</b> . *; Whirlpool. My evaluation of the dishwasher observed the following: The condition of the door gasket, control knobs and interior parts, including the dish tray, rollers, spray arms and soap dispenser; Observed the interior for signs of rust; Inspected the door spring operation; Observed the discharge hose or piping for condition and proper routing; Inspected the unit to insure it was securely mounted; Looked for the presence of water leaks; Operated the unit in the normal mode with the soap door closed; Inspected the unit for proper operation, noting that the spray arms turn, the soap dish opens and the drying unit operates. The dishwasher appears to be in normal working order and condition for its age.

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2202. Disposal      **Acceptable** . \*The unit was inspected and the condition of the splash guard, grinding components and exterior are appropriate for its age and use. Also when operated the unit noise level, vibration and water tightness were satisfactory
2203. Stove        **Acceptable** . Electric; Kenmore; \*. Unit is performing its designed function and its condition is appropriate for its age and use
2207. Vent Hood    **Acceptable** . Broan; \*. The inspector inspected the condition of the filter, vent pipe, and switches, operated the blower, observing sound, speed and vibration level. He further observed the operation of the light and switches and the termination of the vent pipe to the outside of the structure when not of recirculation type or configuration. The unit is performing its designed function and its condition is appropriate for its age and use. The inspector is not required to determine if the vent fan ducting exhaust air to the exterior of the house.
2208. Microwave    **Not Present** .

## BATHROOMS

### Components for Inspection

The inspector shall inspect and operate all faucets, showers, toilets, whirlpool, bathtub and shower walls. Test the water supply for functional flow and test waste lines from sinks, tubs and showers for functional drainage.

### Specific Limitations

The inspector is not required to inspect any plumbing components not readily accessible; test shower pans, tub and shower surrounds, or enclosures for leakage; open water valves.

## MASTER BATHROOM

Step #	Component	Comment
2302.	Exhaust Fan	<b>Not Present</b> .
2303.	Heater	<b>Not Present</b> .
2304.	Faucets	<b>Acceptable</b> . *The bathroom faucets appear to be in normal working order for their age.
2307.	Drain Control / Drain Function	<b>Acceptable</b> . *The drain controls and drains are performing their designed function and their condition is appropriate for their age and use
2312.	Toilet	<b>Acceptable</b> . *At the time of this inspection, the toilet is performing its designed function and the condition is appropriate for its age and use. No discrepancies were noted.



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2315. Electric      **Comments** . No. . The electrical outlets in the bathroom do not appear to be Ground Fault Current Interrupter protected. Installing GFCI's within six feet of all wet fixtures, such as the kitchen, bathrooms, garage, laundry room and on exterior outlets is a very useful safety upgrade for the protection of the building occupants - Safety Issue
2316. Plumbing      **Acceptable** . \*No discrepancies were noted at the time of this inspection

### HALL BATHROOM

Step #	Component	Comment
2402.	Exhaust Fan	<b>Not Present</b> .
2403.	Heater	<b>Not Present</b> .
2404.	Faucets	<b>Acceptable</b> . *The bathroom faucets appear to be in normal working order for their age.
2407.	Drain Control / Drain Function	<b>Acceptable</b> . *The drains and drain controls are performing their designed function and their condition is appropriate for their age and use
2409.	Shower	<b>Acceptable</b> . *At the time of this inspection, the shower is performing it's designed function and it's condition is appropriate for its age and use.
2410.	Shower/Bathtub Walls	<b>Acceptable</b> . *At the time of this inspection, the walls surrounding the bathtub/shower appear to be soundly attached to the wallboard and free of any major deficiencies and missing grout or sealant
2412.	Toilet	<b>Acceptable</b> . *At the time of this inspection, the toilet is performing its designed function and the condition is appropriate for its age and use. No discrepancies were noted.
2413.	Bathtub	<b>Acceptable</b> . *At the time of this inspection, the bathtub is performing its designed function and the condition is appropriate for its age and use. No discrepancies were noted at this time
2415.	Electric	<b>Comments</b> . No.. The electrical outlets in the bathroom do not appear to be Ground Fault Current Interrupter protected. Installing GFCI's within six feet of all wet fixtures, such as the kitchen, bathrooms, garage, laundry room and on exterior outlets is a very useful safety upgrade for the protection of the building occupants - Safety Issue
2416.	Plumbing	<p style="color: red; border: 1px dashed black; padding: 2px;"><b>Repair or Replacement Recommended</b>..</p> <p>There is a water leak in the plumbing under the cabinet.</p> <ul style="list-style-type: none"> <li>• Service the plumbing and bring to normal working order.. Water leak under cabinet.</li> </ul>

**Standard Home Inspection**

**UTILITY ROOM**

Step #	Component	Comment
2402.	Dryer Hook Ups	<b>Comments</b> . Gas & Electric.
2403.	Faucets	<p><b>Repair or Replacement Recommended</b></p> <p>The faucet handles have been tightened down to the point I was unable to open them and evaluate the faucets.</p> <ul style="list-style-type: none"> <li>• Without water I was unable to evaluate the utility room drain</li> </ul>
2404.	Receptacles	<p><b>Acceptable</b> . *All outlets are properly installed and no discrepancies were noted at this time</p> <ul style="list-style-type: none"> <li>• .</li> </ul>
2405.	Drain Function	<b>NE.</b>
2406.	Dryer Vent	<p><b>Acceptable</b> . *Dryer vents should vent to the exterior. The dryer vent appears to be free of lint. Dryer vents should be checked for lint build up every year. Clothes dryer fires are one of the most common causes of house fires. Last year, more than 17,000 house fires were caused by a clothes dryer. Many dryer related fires are attributed to lint accumulation in the dryer and dryer venting system.</p>

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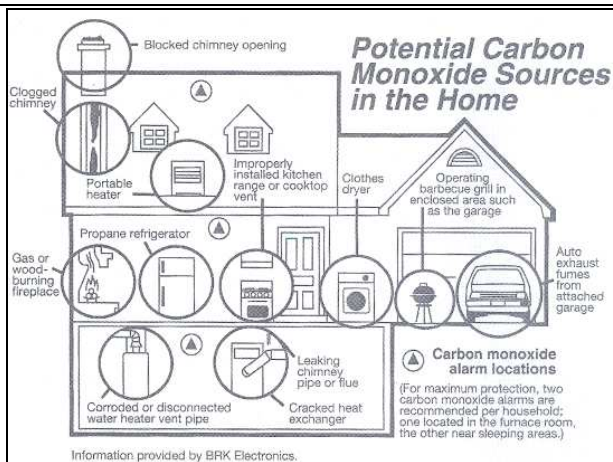
### CRAWL SPACE

The inspector is not required to enter a crawl space where : the head room is less than three feet, where the access is less than 18"x24", where the inspector reasonably determines conditions or materials are hazardous to health and safety of the inspector, remove storage items or debris to gain access to crawl space areas, move house furnishings, including carpeting, personal belongings or other material that might limit observation of structurally related components. Operate sump pumps equipped with internal/water dependent switches.

Step #	Component	Comment
2010.	Water Lines	<b>Comments</b> . Galvanized. The potable water pipes within this residence are galvanized, and assumed to be original. They appear to be in acceptable condition. However, they may produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build-up of minerals within them, we do not endorse them. Galvanized water lines rust from the inside out and can become restricted over time. When low water flow is noted at plumbing fixtures, some restrictions may have occurred. We suggest further review by a qualified licensed plumbing contractor for repairs/replacement as needed to ensure proper water flow
2700a	Crawl Space Access	<b>Comments</b> . The crawlspace is accessible and in acceptable condition..
2701.	Ductwork	<b>Acceptable</b> . *The ductwork in the crawl space is insulated and where possible is above the earth floor as required. No discrepancies were noted at the time of this inspection
2703.	Structure	<b>Acceptable</b> . *The members of the crawl space appear to be functioning acceptably in general, however a design analysis is not covered in this observation.
2704.	Floor	<b>Comments</b> . Earth floor.
2705.	Plumbing	<b>Repair or Replacement Recommended</b> <ul style="list-style-type: none"> <li>• There is a water leak under the kitchen area</li> </ul>
2706.	Ventilation	<b>Acceptable</b> . *The crawl space is vented with foundation vents. There appears to be adequate ventilation to allow proper air movement as needed. Vents should be kept open throughout all of the warmer months of the year, closing them only for brief times when freezing of plumbing is a risk.
2706.	Gas Line	<b>Repair or Replacement Recommended</b> <ul style="list-style-type: none"> <li>• The gas line to the fireplace is made of corrugated stainless steel and may not be designed for usage in a crawl space.</li> </ul>
2709.	Vapor Barrier	<b>Acceptable</b> . Vapor Barrier Present.

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**CARBON MONOXIDE**



Carbon monoxide is an odorless, colorless gas and has health effects; high concentrations can be fatal

If there is CO in the air you breathe, it will enter your blood system the same way oxygen does, through your lungs. The CO displaces the oxygen in your blood, depriving your body of oxygen. When the CO displaces enough oxygen, you suffocate. If you suspect Carbon monoxide leave your house immediately and call the fire Department.

**Symptoms of Carbon Monoxide Poisoning**

- |                        |   |                   |
|------------------------|---|-------------------|
| Confusion              | Slight headaches                                | Dizziness         |
| Severe headaches       | Fatigue   | Brain damage      |
| Cardiac problems       | Shortness of breath with only moderate exertion | Flu like symptoms |
| Breathing difficulties | Nausea  |                   |

<b>Step #</b>	<b>Component</b>	<b>Comment</b>
2901.	Water Heater	<b>Comments</b> . No Carbon Monoxide Noted At The Time Of This Inspection.
2902.	Furnace	<b>Comments</b> . No Carbon Monoxide Noted At The Time Of This Inspection.

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### IMPORTANT NOTE:

By use of this report in any manner you agree to accept, and include this work in, the Cravens Home Inspection Service "Inspection Agreement and Contract".

As indicated in our inspection agreement and this document, limitations exist with this inspection. Homes are in a constant state of flux and conditions can and will change. We cannot eliminate the risks of home ownership nor do we claim to find all of any home's defects and blemishes. Unfamiliarity with the property will always impact disclosure. We suggest you obtain written disclosure from the seller/occupant regarding any conditions that may not be apparent and only previous knowledge could disclose.

### RECOMMENDED REPAIRS

Independent, qualified, licensed contractors are recommended for repairs, replacement and maintenance items. Don't forget to obtain receipts from seller for repairs and for anything else, which a current warranty may apply.

**I would advise the buyer to:**

- Insist all the recommendations on the inspection report be performed. It is common for other problems to be identified during the repair process that were not known at the original inspection. All identified problems are hereby part of the Inspector inspection report.
- Insist that a further evaluation of the item being repaired be performed during repairs and that any and all identified problems found be repaired or at least reported to the buyer for further consideration.
- Obtain a written agreement from the seller stating exactly which repairs will be made.
- Request the exclusive use of professional contractors in the respective trade to make the identified repairs. Amateur repairs may fail after closing, resulting in higher repair cost to the client.
- Read the seller's disclosure / disclaimer statement. Ask for documentation confirming all repairs or improvements that are mentioned in the seller's statement have been made.
- Request all the identified repairs be completed well in advance of the "closing" to give you plenty of time to check the finished repairs.
- In summary; believe what the seller tells you, then ask for proof.

### Follow Up Inspection:

If the buyer desires a follow up inspection is available to the buyer. The follow up inspection should be conducted prior to closing and I will need at least a one-week notice. **There is an additional cost of \$75.00 per inspector for this inspection. An inspection of the Engineering repair recommendations is available and if requested will be billed at an hourly rate. If the crawl space must be entered to review repairs then there is an additional \$45.00 cost for this service.** Contact our office for scheduling times available.

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**Important information about this report:**

It represents only the inspectors' opinion at the time of the inspection. The report is based upon the information provided to the inspector, the weather and soil moisture conditions, and the experience of many previous inspections. **The inspection and report are not intended to provide a warranty, guarantee, or assurance of latent future defects that may occur in the items that were part of the inspection.** An opinion of repair cost should be obtained from repair contractors in the respective trades. Failure to perform the recommended repairs in this report is a serious mistake! There are often additional problems found when the original report recommendations are performed, resulting in a greater cost than anticipated. It is the contractor's responsibility to address any and all defects found during repairs, not just repair items noted on the inspection report. If for any reason the contractor is unable to perform those repairs, he must so inform the inspector and/or the buyer of the defects and the reason he cannot make the proper repairs. This inspection does not provide a "**complete**" property inspection. Please read the information on the Inspection Agreement.

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified minor defect. Also because, we are not specialist or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. **It does not.** It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home warranty policy, read it carefully. Such policies usually only cover insignificant cost, such as roofer service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or a manufacturers defect. Therefore, you should read such policies very carefully.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. We are always attempting to improve the quality of our service and our report, and we will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and with respect. **Please keep a copy of this report however you should need an additional copy after closing there is a service charge of three dollars per page.**

Charles Cravens, CRI, HCRI - Oklahoma License #0073

Past Certifications

- ASHI Home Inspector
- NAHI Real Estate Inspector
- IAQA – Mold Remediation and Testing
- Certified Roof Inspector – Certified by Haag Engineering

Former Member of the Board of Directors - National Association of Home Inspectors, Inc  
Member of the RESNET Subcommittee to establish National Guidelines for Energy Audits